

Development Permit Information Package

File Number: 3060-20/20200019

Electoral Area: G

Date of Referral: August 18, 2020

Date of Application: June 9, 2020

Property Owner's Name(s): Freemantle Enterprises Ltd.

Applicant's Name: Dietmar Feistmantl

SECTION 1: Property Summary

Legal Description(s): Lot 1, District Lot 4188, Lillooet District, Plan 17558, Except Plans KAP50471 and KAP59610

Area of Application: 0.79 ha (1.97 ac)

Location: Cariboo Highway 97 and Park Drive

Official Community Plan:

South Cariboo Area Official Community Plan, 5171, 2018

Designation:

Commercial

Development Permit Area:

Commercial Development Permit Area

Current Zoning:

General Commercial (C 1)

Refer to: Area 'G' APC, CRD Chief Building Official, CRD Environmental Services, Ministry of Transportation and Infrastructure

Proposed Development: Commercial Office Building

SECTION 2: Planning Report

Background:

The applicant has applied to construct a 155.33 sq. m (1,672 sq. ft.) commercial office building on-site for a contracting business. It is a two-phase building project with only one building being proposed currently. The proposal is shown in Appendix B. The property is zoned General Commercial (C 1) in the South Cariboo Area Zoning Bylaw No. 3501, 1999, and is designated as Commercial in the South Cariboo Area Official Community Plan (OCP) Bylaw No. 5171, 2018.

Further, the subject property is within the Commercial Development Permit (DP) Area of the South Cariboo Area Official Community Plan (OCP) Bylaw No. 5171, 2018. The Commercial DP Area regulates the form and character of commercial and industrial developments along the highway.

Location and Surroundings:

The subject property is located at the intersection of Cariboo Highway 97 South and Park Drive with 103 Mile Lake to the far south-east of the property as shown in Appendix A. Currently, the property is vacant and covered in grassland. It is mostly surrounded by mobile home park to the south, institutional and residential lots to the east, institutional lot to the north and a large farmland to the west of the subject property.

CRD Regulations and Policies:

The Commercial Development Permit Guidelines are outlined in the South Cariboo Area OCP Bylaw No. 5171, 2018 regulating new developments along the highway corridor.

The Commercial Development Permit Area is designated under Section 488 (1)(f) of the *Local Government Act*, and the resulting guidelines are intended to ensure that the redevelopment and future development contributes to a positive first impression of the community by maintaining a high development standard. This includes building massing and design regulations, building materials, height restrictions, landscaping, signage, access and parking specifications.

3501- South Cariboo Area Zoning Bylaw, 1999

5.1 GENERAL COMMERCIAL (C 1) ZONE

5.1.1 USES PERMITTED

(b) NON-RESIDENTIAL USES:

- iii) business or professional office;
- xvi) ancillary buildings.

Rationale for Recommendations:

The proposal is generally consistent with the Commercial Development Permit Guidelines. The exterior of the proposed building is constructed in a similar architectural style as that of the existing buildings in 100 Mile Area along Highway 97. The proposed building has a sloping flat trussed roof with uniform windows across the building façade that breaks the monotony by bringing depth and character to the overall development.

The Development Permit Guidelines outline the importance of landscaping within the Development Permit Area. The proposed development complies with the landscape guidelines by providing highway frontage setback with well-maintained green space along the perimeter. There is efficient site circulation with smaller groups of parking areas separated by landscaping. Therefore, planning staff support the proposal.

However, the applicant must comply with the Ministry of Transportation and Infrastructure requirements of no direct access from the Cariboo Highway 97 and apply for a Commercial Access Permit for the proposed access from Park Drive prior to commencement of construction.

Recommendation:

That the application for a Development Permit pertaining to Lot 1, District Lot 4188, Lillooet District, Plan 17558, Except Plans KAP50471 and KAP59610 be approved based on Appendices B and D. Further, that the development be subject to the following conditions:

1. Construction to be completed in substantial compliance with the approved design drawings.
2. Disturbed areas are hydro-seeded with an appropriate seed mixture for the region, prior to completion of construction.

SECTION 3: Referral Comments

Ministry of Transportation and Infrastructure: - August 20, 2020

The Ministry of Transportation has no objection in principle to the proposed Development Permit application subject to the following conditions:

- There shall be no direct access permitted to Cariboo Highway #97. All access shall be from Park Drive.
- Applicant must apply for a Commercial Access Permit prior to commencement of construction. (application attached)
- Submission of detailed site plan to accompany application.

Advisory Planning Commission: - August 31, 2020

See attached.

CRD – Chief Building Official: - September 11, 2020

Building Permit required for proposed work.

CRD – Environmental Services Department: - September 11, 2020

Interests unaffected.

SECTION 4: Board Action

Date of Meeting:

ATTACHMENTS

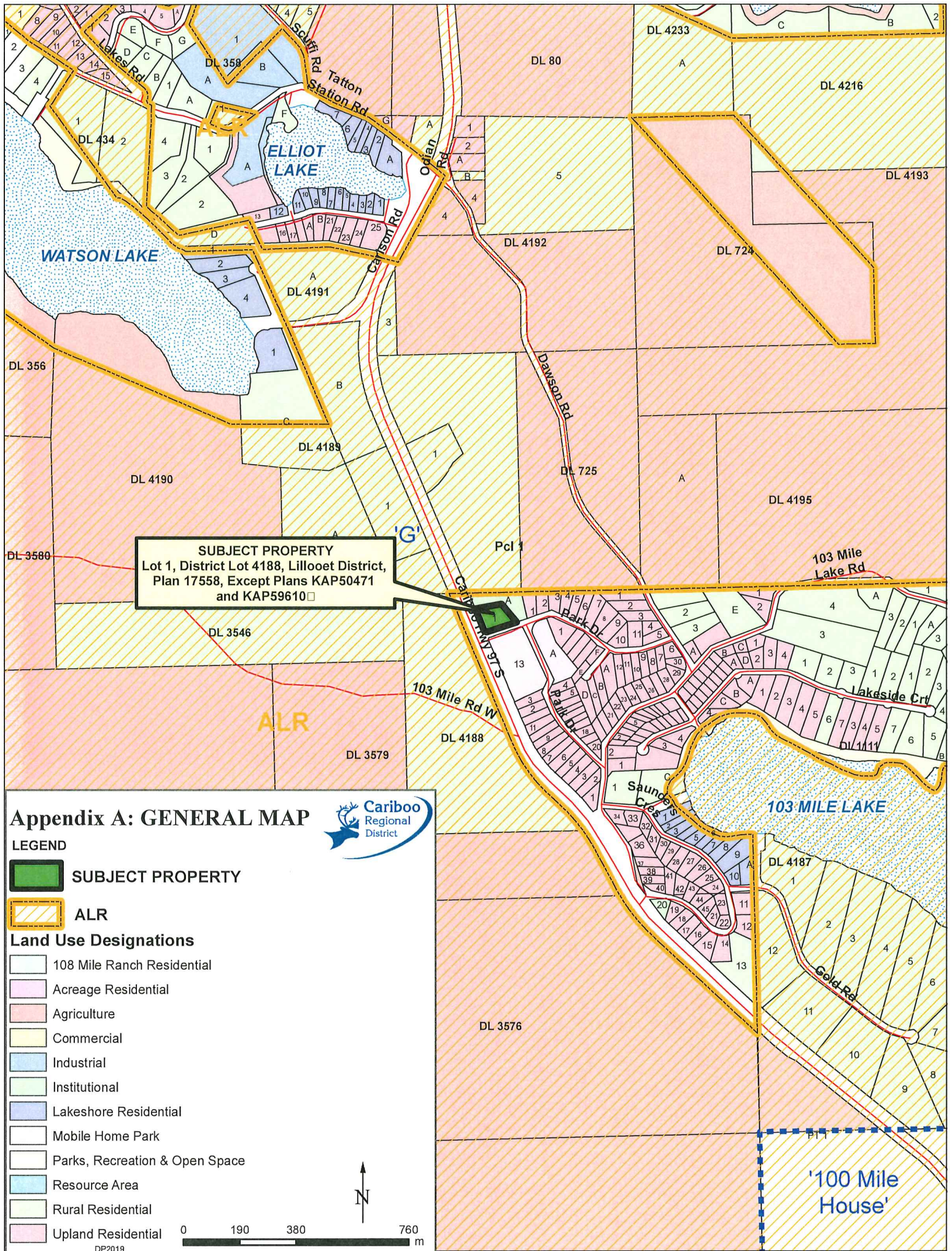
Appendix A: General Map

Appendix B: Specific Map

Appendix C: Orthographic Map

Appendix D: Applicant's Supporting Documentation

Other: Advisory Planning Commission Comments



SUBJECT PROPERTY
Lot 1, District Lot 4188, Lillooet District,
Plan 17558, Except Plans KAP50471
and KAP59610

Appendix A: GENERAL MAP

LEGEND

-  **SUBJECT PROPERTY**
-  **ALR**

Land Use Designations

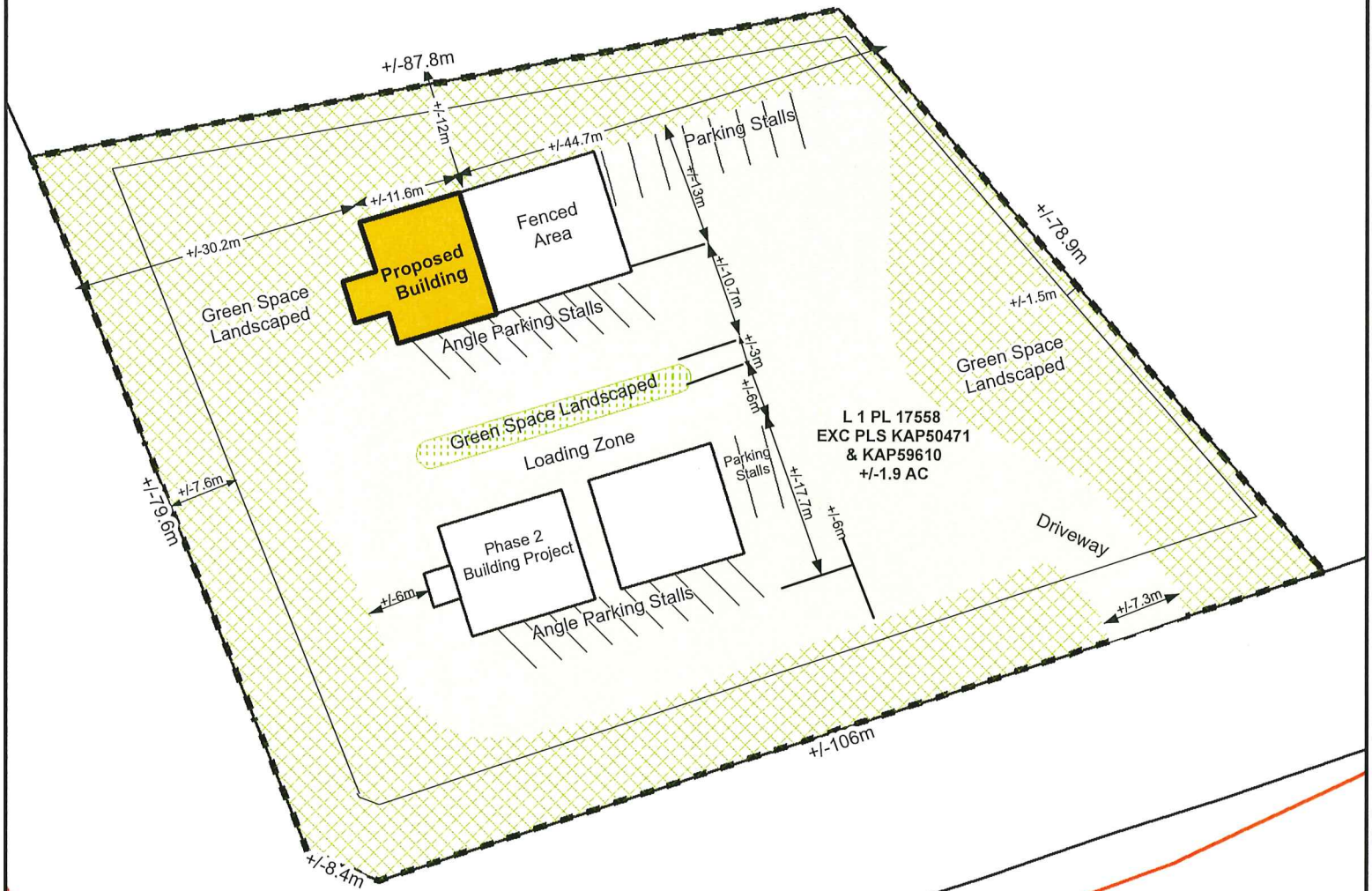
-  108 Mile Ranch Residential
-  Acreage Residential
-  Agriculture
-  Commercial
-  Industrial
-  Institutional
-  Lakeshore Residential
-  Mobile Home Park
-  Parks, Recreation & Open Space
-  Resource Area
-  Rural Residential
-  Upland Residential



0 190 380 760 m

Lot
PI

Lot A
PI KAP59610



Appendix B: SPECIFIC MAP



SUBJECT PROPERTY



ALL MEASUREMENTS
METRIC



DP 2019

Disclaimer: Structure size and location is a graphical representation of information provided by the applicant and may not necessarily be drawn to scale

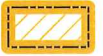
Appendix C: GENERAL MAP ORTHO



LEGEND



SUBJECT PROPERTY



ALR



0 30 60 120 m

DP2019



SUBJECT PROPERTY
Lot 1, District Lot 4188, Lillooet District,
Plan 17558, Except Plans KAP50471
and KAP59610

DL 4188

DL 4189

DL 725

Park Dr

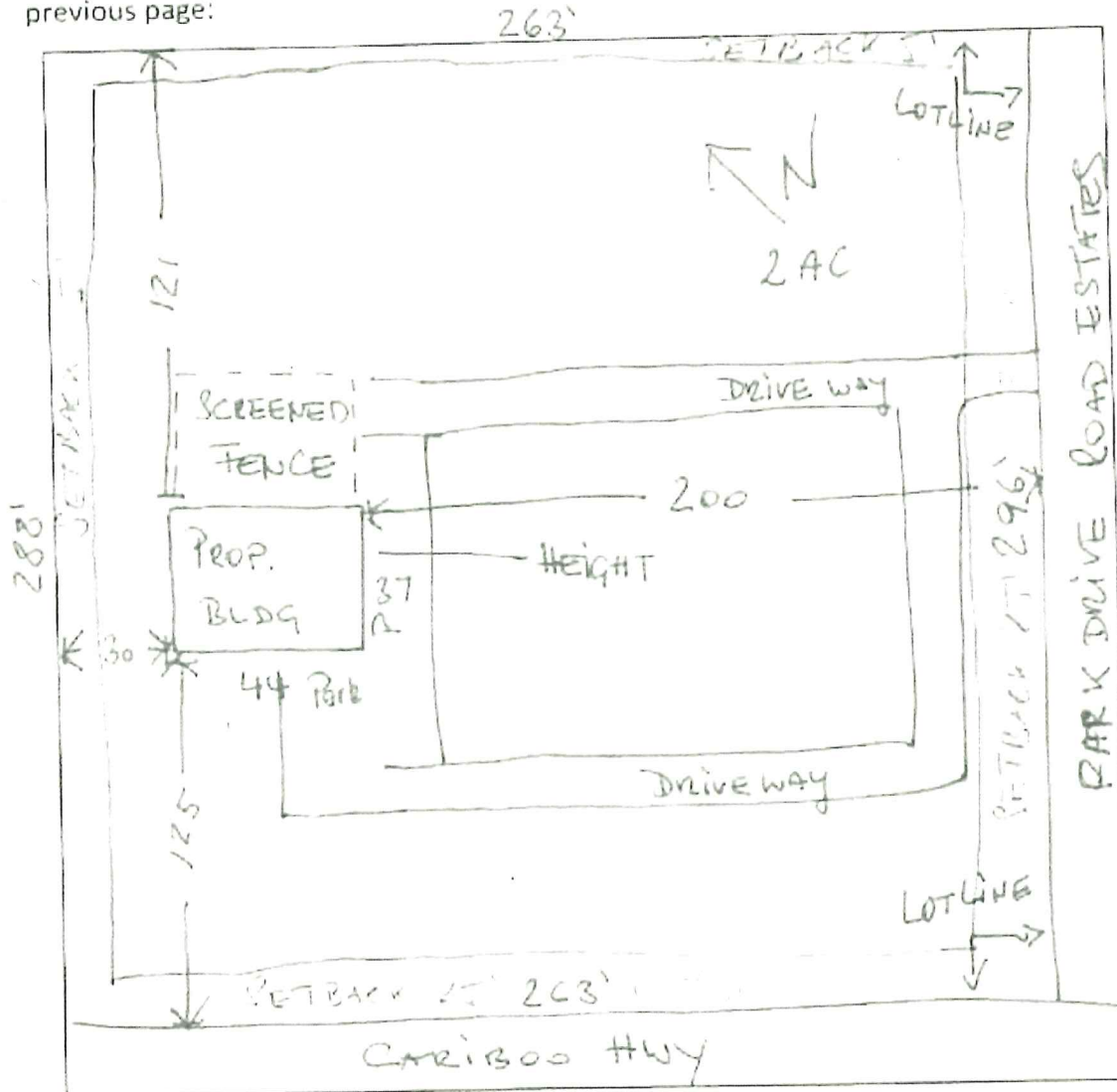
Park Dr

103 Mile Rd W



Site Plan Worksheet

Please draw a site plan depicting your property and proposal as instructed on the previous page:



Street or Road Number/Name:

LOT Hwy 97

Owner's name:

Freemantle Enterprises Ltd

PID:

008-391 343

Freemantle Enterprises

Po Box 10150

5268 Kallum Drive

108 Mile Ranch, BC V0K 2Z0

GENERAL NOTES

THE CONTRACTOR, BUILDER AND OWNER SHALL VERIFY ALL DIMENSIONS, NOTES, AND DETAILS ON THESE PLANS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ALL RESPECTIVE PARTIES INVOLVED WITH THIS PROJECT

THIS BUILDING IS TO BE CONSTRUCTED BY A QUALIFIED INDIVIDUAL OR GROUP, FAMILIAR WITH BOTH THE LOCAL BUILDING CODES, AND BYLAWS

ELECTRICAL, PLUMBING, HVAC, OR OTHER MECHANICAL REQUIREMENTS OF THIS DESIGN TO BE DETERMINED BY OTHERS

INSULATION & VAPOUR BARRIER SHALL CONFORM TO LOCAL MIN. CODE REQUIREMENTS

FOUNDATION FOOTINGS SHALL BE PLACED AT THE MIN. FROST PROTECTED DEPTH ON UN-DISTURBED SOIL OR APPROVED FILL, TO GOOD CONSTRUCTION PRACTICE

FOUNDATION REINFORCEMENT SPECIFICATIONS ARE TO BE TO LOCAL MIN. CODE REQUIREMENTS, OR AS NOTED BY ENGINEER.

WINDOW AND DOOR STYLES, INTERIOR AND EXTERIOR FINISHES, APPLIANCES, AND FIXTURES ARE TO THE OWNERS SPECIFICATIONS, AND MAY BE DIFFERENT FROM THE PLANS

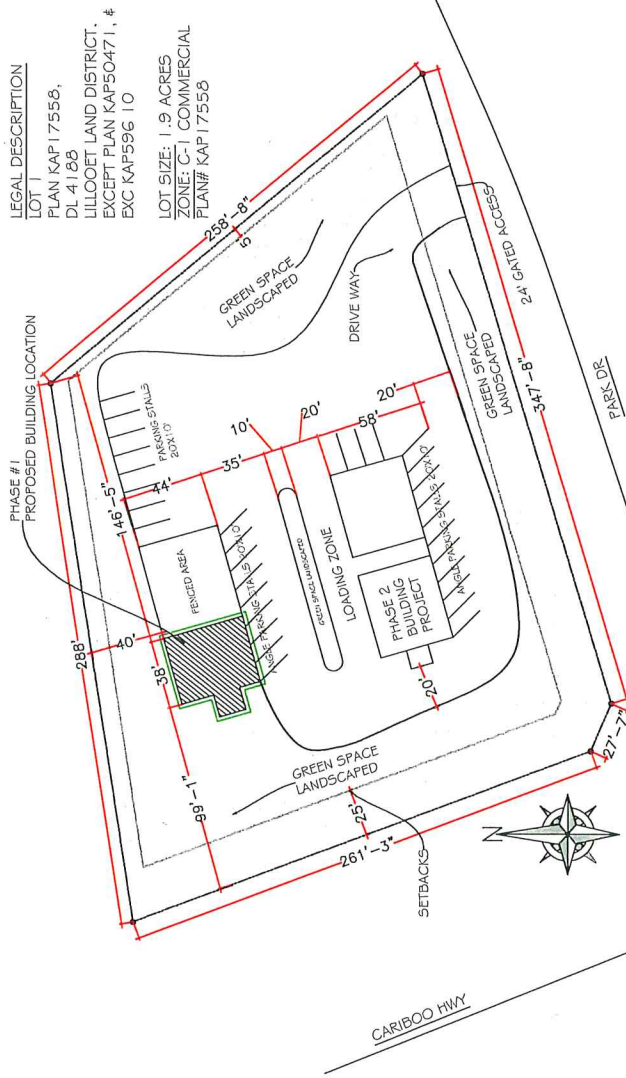
THIS SET OF DRAWINGS WAS DESIGNED FOR A SPECIFIC PROJECT AND CANNOT BE RE-USED WITHOUT WRITTEN CONSENT FROM ALPACA CONSTRUCTION

ALPACA CONSTRUCTION HOLDS COPYRIGHT TO THESE PLANS, WITH ALL RIGHTS RESERVED

BUILDER TO EXPOSE PROPERTY PINS OR HAVE A CURRENT SURVEY COMPLETED PRIOR TO FOOTING INSPECTION

PID: 003-391-343
FOLIO #: 00000000041707050

LEGAL DESCRIPTION
LOT 1
PLAN KAP17558,
DL 4188
LILLOOET LAND DISTRICT,
EXCEPT PLAN KAP50471, &
EXC KAP596 10
LOT SIZE: 1.9 ACRES
ZONE: C-1 COMMERCIAL
PLAN# KAP17558



POWER, GAS, AND SEPTIC TO BE DETERMINED PRIOR TO EXCAVATION



ALPACA CONSTRUCTION
250-945-4646
alpacaconstruction@gmail.com
kevininstalls@gmail.com

REVISIONS:

#	DATE
#1	2020-07-07
#2	2020-07-07
#3	2020-07-29

PROJECT:
FREEMANTLE
ENTERPRISES
PARK DR.

LOCATION:
5501 PARK DR
100 MILE HOUSE, BC

DATE: Y.M.D.
2020-07-29

SCALE: 1/64" = 1'-0"

DRAWING #
1

SITE PLAN

A BUILDING LOCATION SITE PLAN
RESOURCES FOR CONSTRUCTION
CONTACT THE BUILDING IN
FOR INFORMATION TO SITE
PROJECT

A line drawing of a building facade. On the left, there is a chimney. The main wall features vertical siding. A sign is mounted on this wall, consisting of a triangular section on the left with the text 'MR. T' and a rectangular section on the right with the text 'CONTRACTING'. The building has several windows: two small ones on the left, and three larger ones on the right, arranged in two rows. The drawing is a simple line art style.

A line drawing of a building facade with vertical siding. The facade is divided into three main sections. The left section has a large rectangular window near the top and a smaller rectangular window near the bottom. The middle section features a large central door with a transom window above it. The right section has a small rectangular window near the top and a larger rectangular feature, possibly a door or a large window, near the bottom. The drawing is simple, using only black outlines on a white background.

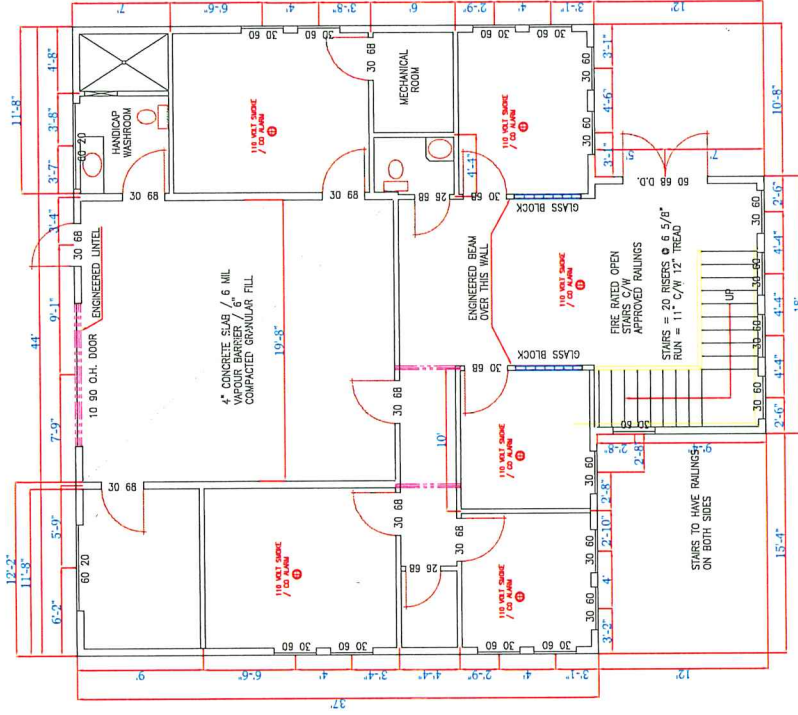
REAR ELEVATION

Interlakes Building Supplies 7250 LANCE ROAD LONG BEACH, N.C. Tel.: 252-593-2296 Fax: 252-593-2296 Phone: 252-593-2296	JOB NAME: FREEMANTLE COMMERCIAL BUILDING	CONTRACTOR: FREEMANTLE CONSTRUCTION	PLAN #	DATE:	REV #
	TITLE: ELEVATIONS	DRAWN: S. BROWN		DATE: APRIL 7, 2020	PAGE: # 1

MECHANICAL VENTILATION
CONFORMING TO SECTION 9.32.3.
B.C. BUILDING CODE IS REQUIRED.
EXHAUST FANS, CONFORMING TO 9.32
B.C. BUILDING CODE, ARE REQUIRED
IN KITCHENS AND ALL BATHROOMS

FLUENTS TO BE INSTALLED OVER OPENINGS AS PER
SECTION 9.32.3. B.C. BUILDING CODE. THE FLASHINGS
ARE REQUIRED TO TERMINATE WITH END DAMS

NO PLUMBING ALLOWED
IN EXTERIOR WALLS



MAIN FLOOR LAYOUT

Interlakes Building Supplies

7351 LEVICK ROAD
LANE RUTLE, B.C.
Phone: 250-894-1444

JOB NAME: FREEMANTLE COMMERCIAL BUILDING

TITLE: MAIN FLOOR LAYOUTS

CONTRACTOR: FREEMANTLE CONSTRUCTION

PLAN #

DATE:

REV # F

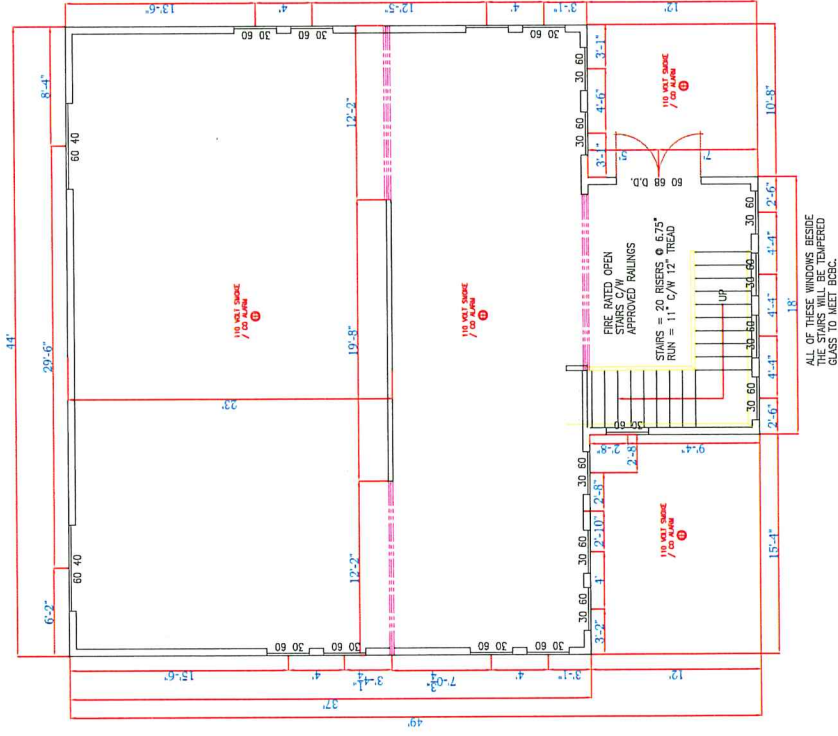
DRAWN: S. BROWN

DATE: APRIL 7, 2020

SCALE: 1/4" = 1'

DATE:

PAGE: #2



UPPER FLOOR LAYOUT

Interlakes Building Supplies
 2381 LEWIS ROAD
 LONE BUTTE, B.C. Phone: 250-594-1244

JOB NAME: FREEMANTLE COMMERCIAL BUILDING
 TITLE: UNFINISHED UPPER FLOOR LAYOUTS

CONTRACTOR: FREEMANTLE CONSTRUCTION
 DRAWN: S. BROWN

PLAN #
 SCALE: 1/4" = 1'

DATE:
 DATE:

REV #
 PAGE: # 3

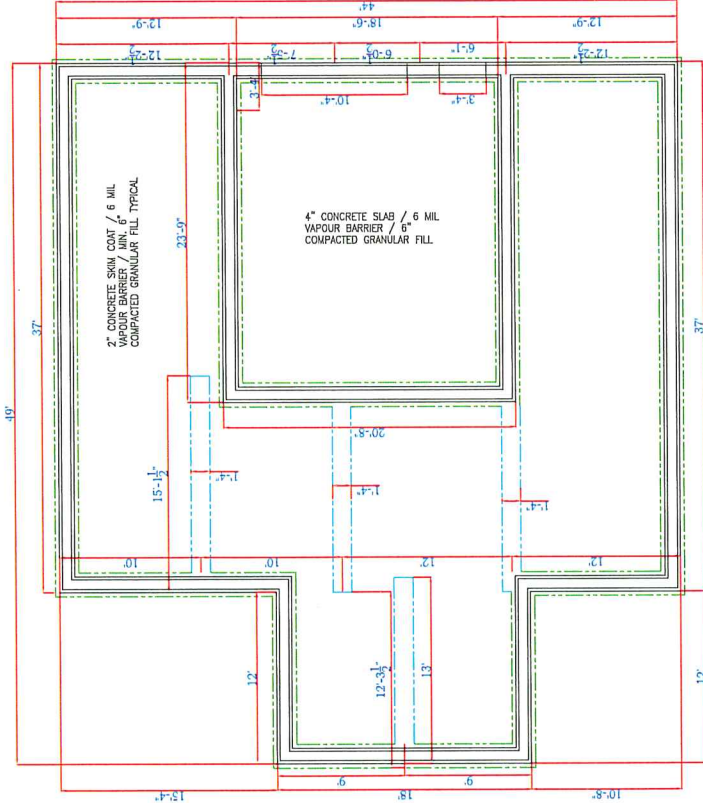
UNDERSIDE OF ALL FOOTINGS MUST
EXTEND TO A MINIMUM OF 42"
BELOW FINISHED GRADE.
STEP FOOTINGS ARE TO HAVE A
MINIMUM RECESSED JOINT WITH A
RUN OF 24" BETWEEN STEPS.

GARAGE FLOOR TO SLOPE OUTSIDE

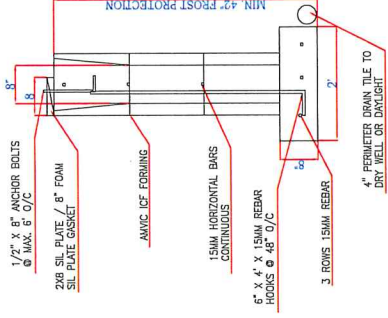
ALL ICE WALLS MUST BE SUPPORTED AT
THE TOP AS PER 9.15.4.2(D)

CONCRETE GARAGE FLOOR SLABS AND EXTERIOR
WALLS ARE TO BE REINFORCED WITH A MINIMUM 32 MPA
COMPRESSIVE STRENGTH CONCRETE

PROVIDE BOND BREAK AND
FLEXIBLE SEALANT BEAD AT
SLAB EDGE AND PENETRATIONS



FOUNDATION LAYOUT



FOUNDATION WALL
DETAIL



STRIP FOOTING
DETAIL

NOTES:

- 1.) All work to conform to the 2012 edition of the B.C. Building Code (BCBC)
- 2.) 110 volt Smoke/Carbon monoxide detectors to be installed in each sleeping room, living room, kitchen, and bedrooms and living areas. All Smoke/CO alarms to be interconnected.
- 3.) A rough-in for radon gas mitigation system as per 9.13.4.3 BCBC is required to be installed below the basement floor slab.
- 4.) If an electric space heater is used, the temperature is to be maintained at no more than 60 degrees Celsius.
- 5.) Water discharging into a bathtub or shower shall be temperature limited to no more than 49 degrees Celsius.
- 6.) All electrical work must conform to S7.4.2 (NFCS and Canadian Supplement). The test reports showing conformance to NFCS and the Canadian Supplement are to be retained by the builder and submitted to the building inspector at the time of framing inspection.
- 7.) All engineered shop drawings for engineered roof trusses, beams and joists are to be retained by the builder and submitted to the building inspector at the time of framing inspection.

Interlakes Building Supplies		JOB NAME: FREEMANTLE COMMERCIAL BUILDING		CONTRACTOR: FREEMANTLE CONSTRUCTION		PLAN #		DATE:		REV #	
7251 LEVER ROAD VIR 1X1 Phone: 250-294-4344		TITLE: FOUNDATION LAYOUT		DRAWN: S. BROWN		SCALE: 1/4" = 1'		DATE: APRIL 7, 2020		PAGE: # 4	

[illegible]

STAIRS, RAMPS, HANDRAILS AND GUARDS TO MEET 9.8 BCBC EXT.

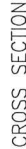
GUARDRAILS TO

- BE 36" HIGH MINIMUM INSIDE
- BE 42" HIGH MINIMUM EXTERIOR
- BE NON CLIMBABLE
- HAVE MAX. OPENING OF 4"

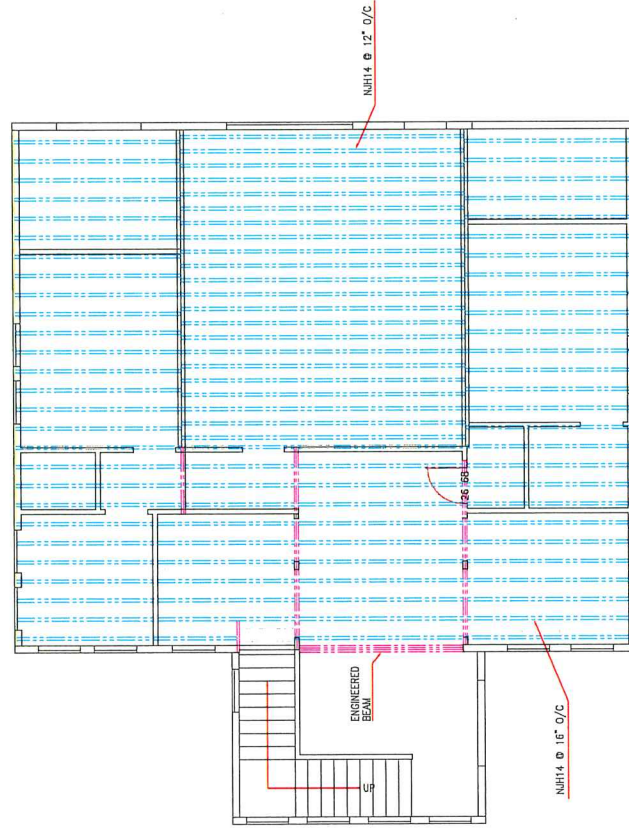
25% OF REQUIRED ROOF
VENTING TO BE AT OR NEAR
RIDGE, AS PER 9.19.1.1

MINIMUM RSI IN VAULTED CEILING = 4.67.
MINIMUM 2 1/2" OF VENTED SPACE REQUIRED
FROM TOP OF INSULATION TO UNDERSIDE OF
ROOF DECK

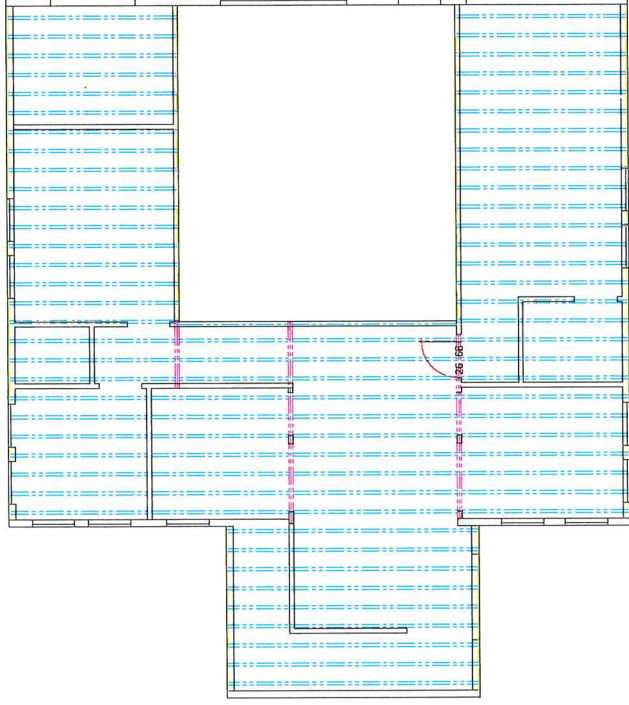
ALL WINDOWS AND DOORS SHALL COMPLY WITH BCBG 2012 FOR ENERGY EFFICIENCY (ZONE 6)



Interlakes Building Supplies 7251 LANCER ROAD WILM, TX LONG BRIDGE, E.C. P.O. BOX 250 506-2296		CONTRACTOR: FREEMANTLE CONSTRUCTION DRAWN: S. BROWN DATE: APRIL 7, 2020	PLAN # SCALE: 1/4" = 1'	REV # PAGE: # 5
JOB NAME: FREEMANTLE COMMERCIAL BUILDING TITLE: CROSS SECTION				



SECOND FLOOR JOIST LAYOUT



MAIN FLOOR JOIST LAYOUT

Interlakes Building Supplies

7251 LEVICK ROAD
 LANE RUTLE, B.C.
 Phone: 250 593-4344

WK 1X1
 LANE RUTLE, B.C.
 Fax: 250 593-2766

JOB NAME: FREEMANTLE COMMERCIAL BUILDING

TITLE: JOIST LAYOUTS

CONTRACTOR: FREEMANTLE CONSTRUCTION

DRAWN: S. BROWN DATE: APRIL 7, 2020

PLAN #

SCALE: 1/4" = 1'

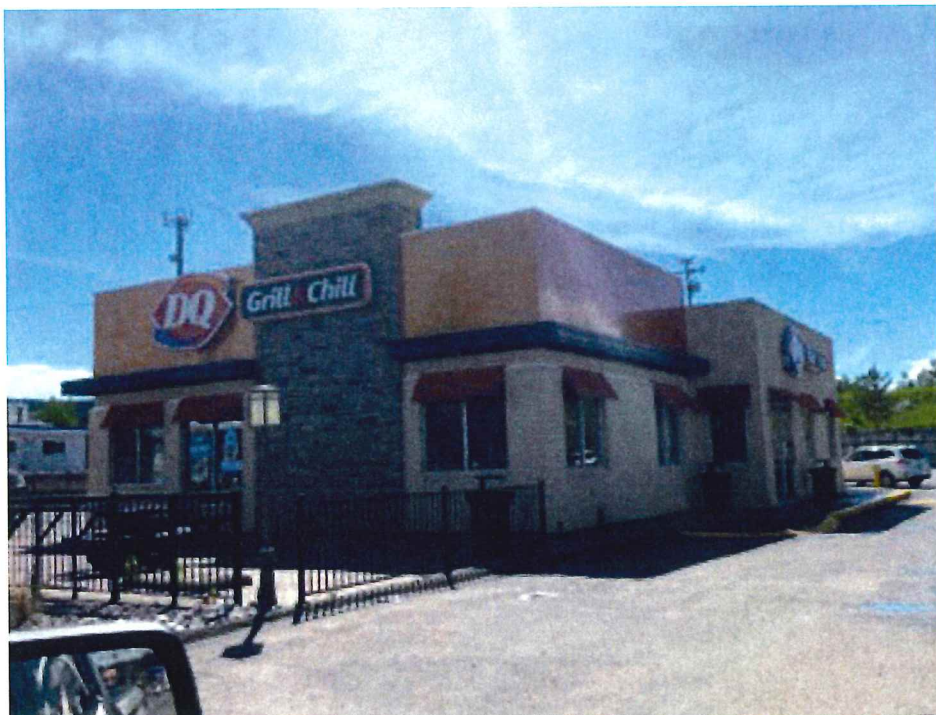
DATE:

DATE:

REV #

PAGE: # 6

**SIMILAR BUSINESS BUILDING FORMS IN
100 MILE AREA AND BESIDE HWY 97**



**SIMILAR BUSINESS BUILDING FORMS IN
100 MILE AREA AND BESIDE HWY 97**



3360-20/20200014

Cariboo Regional District

File No.

SEP 22 2020

Referred To

Aug 31/2020

Ron Robin Al Diane Al

Doug Dodge Agent for Bryan & Penny Reid
Lac la Poudre
Rezoning - To subdivide the property
into two rural residential lots.

Diane/Robin

Area 6 APC has no objection
to this rezoning proposal providing
that the ~~applicant~~ ^{proponent} adheres to
the lakeshore management strategy
and meets all health requirements
and proper sewage disposal

3060-20/20200019

Lot 1 DL 4188 LLD Dietmar Feistmantl
development permit
moved by Marilyn/Robin

Area 6 APC has no objection
to the building design as sub-
mitted.

unanimous

Diane Wood
Secretary